

CODES & STANDARDS

- All workmanship is to be of a standard equal in all respects to good practice.
- All work shall conform to local building codes and bylaws which may take precedence.
- Prior to proceeding with construction, the owner/builder must verify all information, dimensions, and specifications of this plan. Written dimensions always take precedence over scale measurements.

SITE SPECIFICATIONS

- Building and site grade elevations shall be confirmed with utility providers and local authorities and comply with utility service and site drainage requirements.
- All building and utility excavation shall be filled and compacted in 12" layers to a minimum 95% proctor density to ensure minimal settlement.
- Dimensions are shown to exterior of rough framing (exterior sheathing) on exterior walls and to the face of stud on interior walls (wood stud).
- Contractor is to verify all dimensions prior to construction.

CONCRETE & FOOTINGS

- All concrete to have a minimum compressive strength of 2,900 PSI (20MPA) at 28 days.
- Concrete footings must be placed on undisturbed or compacted soil to an elevation below frost penetration.
- All foundation walls 24" (600mm) and higher should have one horizontal 10mm reinforcing bar 3" (75mm) from the top corner. Reinforcing to be lapped minimum 24" (600mm)
- All footings are to have two 1/2" (#4) reinforcing bars. The reinforcing bars are to be situated such that one bar is 3" (75mm) clear of the side and bottom of the footing on both sides of the footing.
- Grades shown on elevation are estimated. Adjust on site as required.

CARPENTRY

- All dimensions and gridlines at exterior walls are to edge of stud. Interior dimensions are to middle of stud, unless otherwise noted.
- Framing lumber shall be number 2 or better spruce unless otherwise specified on the plan. All beam and lintel sizes shown on the drawings to be reviewed and confirmed by truss manufacturer and contractor. Any beam or lintel sizes provided by truss/floor manufacturer take precedence. Wood in contact with concrete shall be dampproofed with a sill plate gasket and pressure treated
- Plates are to be anchored to concrete with 1/2" anchor bolts. Maximum 6ft O.C. or other approved method.
- Flush framed wood members shall be anchored with 200lb joist hangers unless otherwise specified.
- Stamped and sealed shop drawings shall be provided for all structural beam, floor, and roof systems.
- Lintels are (2) 2x10" SPF w/ 2" thick rigid insulation sealed at perimeter U.N.O.
- Provide 2x6" solid blocking at towel bars, toilet paper holders, coat hooks, mirrors, and wall mounted vanities

INSULATION/VENTILATION

- Minimum insulation requirements:
 - Roof/Ceiling - R 60
 - Walls - 2 x 6 - R 24
 - Garage Ceiling - R 32
- Refer to Floor/wall/roof schedule for insulation type.
- Walls and ceilings between residence and attached garage shall be insulated.
- Insulation requirements may vary with heating systems and with local conditions.
- All roof spaces shall be ventilated with soffit, roof, or gable vents, or a combination of these. equally distributed between the top of the roof space and soffits.

MISCELLANEOUS

- Caulk over and around all exterior openings using non-hardening caulking compound.
 - Flash all changes of materials on exterior walls.
 - Flash over all exterior openings.
 - All siding or stucco to be a minimum of 6" (150mm) above finished grade.
 - All balcony railings to be 3'6" (1070mm) in height. Maximum spacing between vertical members is 4" (100mm). Minimum distance between horizontal rails to be 32" (800mm).
 - Coat and clothes closets shall have at least one rod and shelf with minimum depth of 24" unless otherwise stated.
- Where tubs or showers occur, provide moisture resistant gypsum board.

ELECTRICAL SPECIFICATIONS

- 200AMP service connection.
- All exterior wall electrical junction boxes to have airtight foam gasket, provide spray foam at wire penetration.
- All electrical outlet and fixtures locations are to be confirmed
- All electrical outlets services and fixtures to comply with current electrical codes. all electrical services to be installed by a qualified tradesperson.
- height of standard outlets (center of box)
 - wall outlets 14"
 - switches 46"
 - outlets above countertop 6"

HVAC SPECIFICATIONS

- All HVAC systems to comply with BC Building Code.
- All HVAC systems to be designed by a qualified designer.
- All fixtures and materials to be CSA approved.
- All equipment and appliances to be installed and tested as per trade standards.

ZONING ANALYSIS

Municipal Address	484 Sarsons Rd	
Legal Address	Lot 5, Plan KAP16224	
Zone	RU1	
Site Area	847.03 SM	9,117.40 SF
Site Width	23.47 M	77.00 F
Site Depth	36.11 M	118.47 F
Max. Density	4 Dwelling Units Per Lot	
Site Coverage		
Buildings		
Principal - Town Houses (Total of 4 units)	418.16 SM	4,501 SF
Percentage (55% max for 3 or more dwelling units)	49%	
Driveways/Parking/Impermeable Surfaces	141.38 SM	1,521.84 SF
Percentage (75% max for lots with 3 or more dwellings)	66%	
Parking Requirements	Required	Provided
COK Parking Bylaw Table 8.3	5	5
Building Height		
Principal - Town Houses (Max 11.0 m & 3-Storeys)	7.70 M	25.25 F
Setbacks	Required	Provided
Front Yard Setback	3.0 M	7.57 M
Front Yard Setback (Garage)	6.0 M	7.57 M
Side yard Setback (East)	2.1 M	2.32 M
Side Yard Setback (West)	2.1 M	2.25 M
Rear Yard Setback	3.0 M	3.52 M

** HEIGHTS, SQUARE FOOTAGES, COVERAGE, ETC. SUBJECT TO CHANGE UPON FINAL DESIGN

SYMBOLS LEGEND

001A	Door reference number/Refer to door schedule for specific information
<div>1 P1</div>	Detail number/sheet number
<div>A P1</div>	Building section number/Sheet number
<div>#</div>	Keynote number
<div>#</div>	Revision number
<div>W1</div>	Wall type
<div>F1</div>	Floor type
<div></div>	Spot Elevation
<div></div>	Point Load
<div></div>	Load Bearing Partition

Wall Assembly Legend

<div>W1</div>	EXTERIOR WALL - T&G <ul style="list-style-type: none">- 1/2" (13mm) GWB- 6 mil POLY VAPOUR BARRIER WITH SEALED SEAMS- R24 FIBERGLASS BATT INSUL- 2x6" (38x140mm) STUDS @ 16" (400mm) O.C.- 1/2" (13mm) PLYWOOD SHEATHING- TYVECK BUILDING WRAP - TAPE, LAP AND STAGGER ALL SEAMS- 1x6" (19x140mm) T&G WOOD SIDING
<div>W2</div>	EXTERIOR WALL - STUCCO SIDING <ul style="list-style-type: none">- 1/2" (13mm) GWB- 6 mil POLY VAPOUR BARRIER WITH SEALED SEAMS- 2x6" (38x140mm) WOOD STUDS @ 16" (400mm) O.C.- R24 FIBERGLASS BATT INSUL- 1/2" (13mm) OSB SHEATHING- TYVECK BUILDING WRAP - TAPE, LAP AND STAGGER ALL SEAMS- METAL LATHE FURRING- STUCCO FINISH
<div>W3</div>	INTERIOR WALL <ul style="list-style-type: none">- 1/2" (13mm) GWB- 2x4" (38x89mm) WOOD STUDS @ 16" (400mm) O.C.- 1/2" (13mm) GWB
<div>W3a</div>	INTERIOR WALL - INSULATED <ul style="list-style-type: none">- 1/2" (13mm) GWB- 2x4" (38x89mm) WOOD STUDS @ 16" (400mm) O.C.- 3-1/2" (89mm) SOUND INSUL TO SUIT STUD CAVITY.- 1/2" (13mm) GWB
<div>W4</div>	INTERIOR SERVICE WALL <ul style="list-style-type: none">- 1/2" (13mm) GWB- 2x6" (38x140mm) WOOD STUDS @ 16" (400mm) O.C.- 1/2" (13mm) GWB
<div>W4a</div>	INTERIOR SERVICE WALL - INSULATED <ul style="list-style-type: none">- 1/2" (13mm) GWB- 2x6" (38x140mm) WOOD STUDS @ 16" (400mm) O.C.- 5-1/2" (140mm) SOUND INSUL. TO SUIT STUD CAVITY- 1/2" (13mm) GWB
<div>W5</div>	FOUNDATION WALL <ul style="list-style-type: none">- R20 (4" THK (100mm)) EPS RIGID INSUL. TYPE 4, MINIMUM COMPRESSIVE STRENGTH 25lbs/psi- 3" (200mm) CONCRETE FOUNDATION WALL- BITUMINOUS DAMP PROOFING TO GRADE- R15 (3" THK (76mm)) XPS RIGID INSUL. MINIMUM COMPRESSIVE STRENGTH 25lbs/psi- WR MEADOWS PARGE ALL 825 ON RIGID INSULATION A MINIMUM OF 4" (100mm) BELOW GRADE- PERFORATED WEEPING TILE, DRAIN CLOTH & 6+" (150mm) DRAIN ROCK AROUND PERIMETER OF HOUSE FOOTING

Floor Assembly Legend

<div>W6</div>	PARTY WALL - 1HR F.R.R. <ul style="list-style-type: none">- 2 LAYERS 5/8" (16mm) TYPE-X DRYWALL- 2x4" (38x89mm) WOOD STUDS @ 16" (400mm) O.C.- SOUND INSUL TO SUIT STUD CAVITY- 1" (25mm) AIR GAP- 2x4" (38x89mm) WOOD STUDS @ 16" (400mm) O.C.- SOUND INSUL TO SUIT STUD CAVITY- 3/4" (19mm) SONOPAN OR APPROVED EQUAL- 5/8" (16mm) TYPE-X DRYWALL	<div>F1</div>
<div>R1</div>	ROOF TRUSSES - ASPHALTH SHINGLE ROOF <ul style="list-style-type: none">- PROLOK STANDING SEAM METAL- ROOFING UNDERLAYMENT LAPPED 6" (150mm) W/ 6'-0" (1830mm) ICE AND WATER SHIELD @ EAVES- 1/2" (13mm) OSB SHEATHING- ENGINEERED TRUSSES AS PER TRUSS MANUF.- R60 FIBERGLASS BATT INSUL BETWEEN TRUSS CHORDS- 6 mil POLY VAPOUR BARRIER TAPED AND SEALED SEAMS- 5/8" (16mm) GWB	<div>F2</div>
<div>R2</div>	FLAT ROOF <ul style="list-style-type: none">- 2-PLY SBS ROOF MEMBRANE- 3/4" (19mm) EXTERIOR PLYWOOD SHEATHING- TRUSS JOISTS / I-JOISTS AS PER MANUF. SPEC.- R60 FIBERGLASS INSULATION TO SUIT TRUSS/ JOIST CAVITY- 6MIL POLY VAPOUR BARRIER TAPE AND LAP JOINTS- 5/8" (16mm) GWB CEILING	<div>F3</div>

Roof Assembly Legend

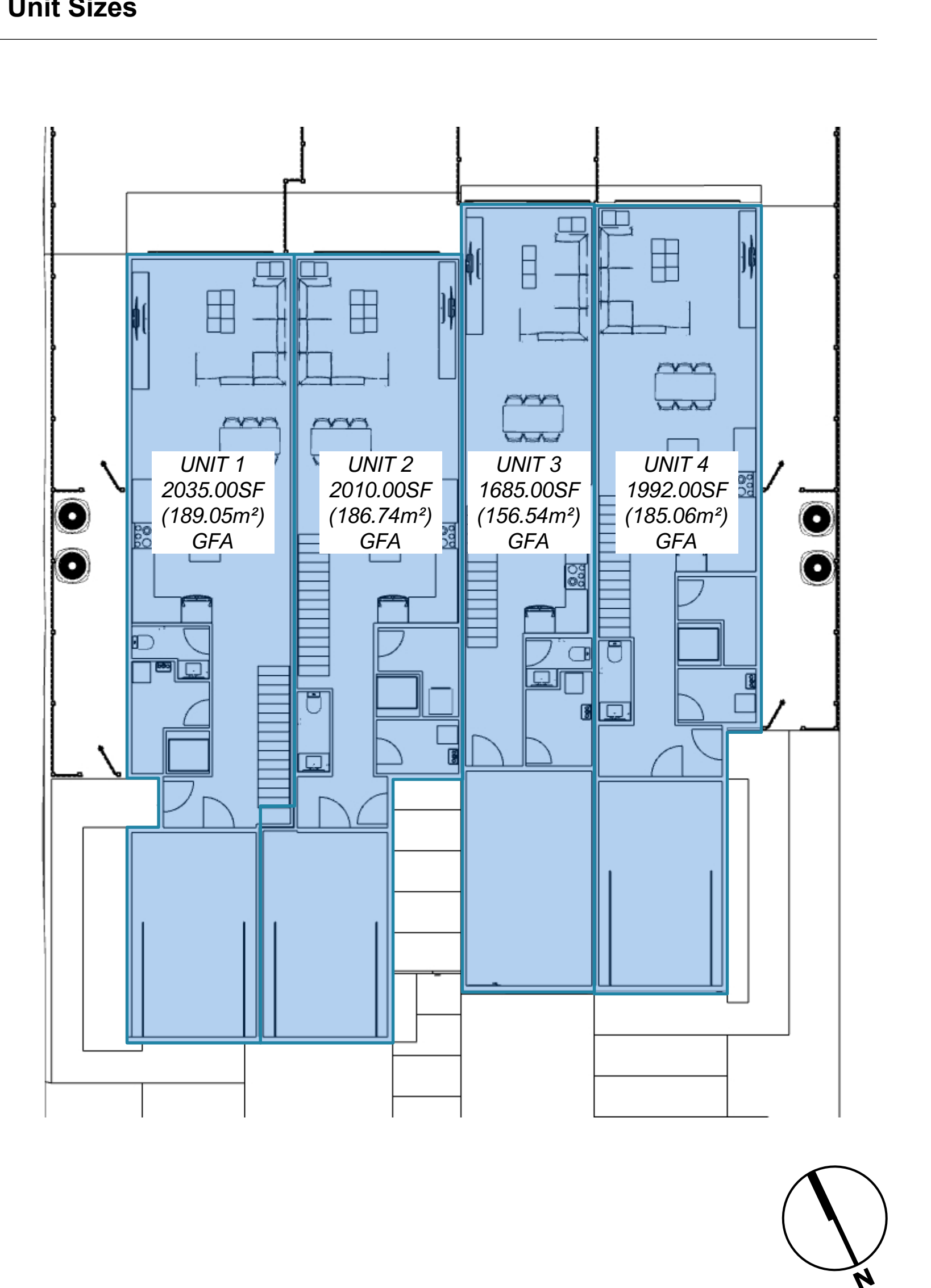
<div>F1</div>	INSULATED TIMBER FLOOR <ul style="list-style-type: none">- 1/2" ENG. HARWOOD FLOORING- 3/8" UNDERLAY (LINO OR TILE AREAS)- 3/4" PLYWOOD SUBFLOOR- 2x10" FLOOR JOISTS @ 16" O.C.- ACOUSTIC INSUL. TO SUIT JOIST CAVITIES- 5/8" DRYWALL*FILL END OF JOIST CAVITIES W/ R22 2lb CLOSED CELL SPRAY FOAM
<div>F2</div>	S.O.G. FLOORING <ul style="list-style-type: none">- 4" CONCRETE SLAB ON GRADE ON 6x6 10-ga WWM REINFORCING ON CHAIRS- 6 mil POLY VAPOUR BARRIER WITH SEALED SEAMS- R15 (3" THICK) EPS RIGID INSUL TYPE 4, MIN. COMPRESSIVE STRENGTH 25 LBS/PSI- COMPACTED GRANULAR FILL & PREPARED SUBGRADE - REFER TO GEOTECH REPORT IF AVAILABLE
<div>F3</div>	WOOD SLAT FLOOR <ul style="list-style-type: none">- 2x4" (38x89mm) FLOOR JOISTS @ 2.5" (65mm) O.C.

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Abbreviations

AFF	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
BTWN.	BETWEEN
CLR	CLEAR
F/W	FASTENED WITH
GWB	GYPNUM WALL BOARD
O.C.	ON CENTER
OSB	ORIENTED STRAND BOARD
P.T.	PRESSURE TREATED
U/S	UNDER SIDE
V.O.S.	VERIFY ON SITE
W/	WITH



Sarsons Fourplex

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rev.	date	remark
1	05/29/24	Design Coverage Plan
2	02/05/25	Issue For Review
3	02/07/25	Pre-Application Package
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5	03/10/25	Development Permit Plan

DATA SHEET

A0.0



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City, Prov: Kelowna, BC

Chris & Jennifer Little
Project Type: Residential Renovation
Project # :



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PERSPECTIVE

A0.1



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PERSPECTIVE
2

A0.2



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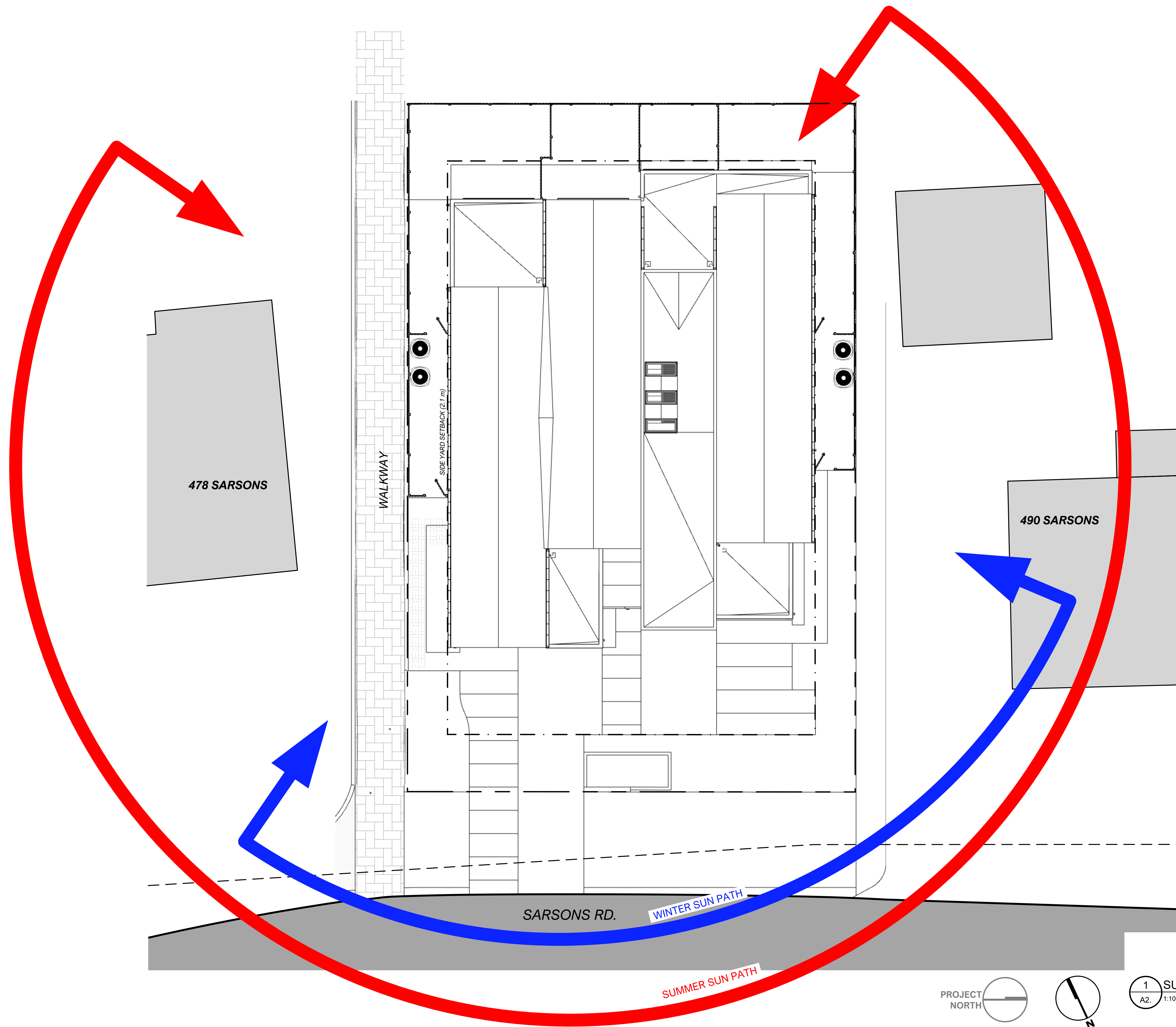
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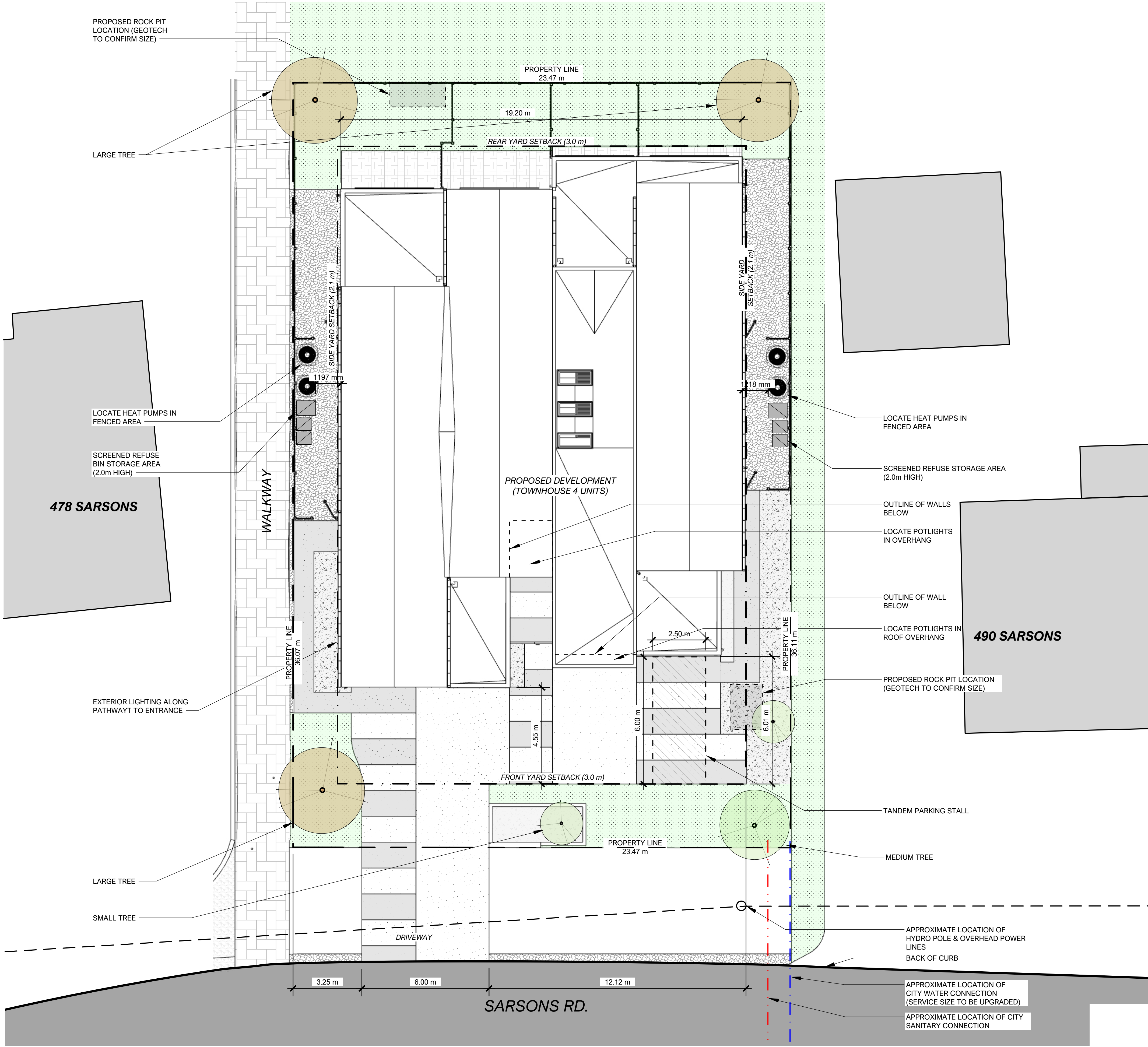
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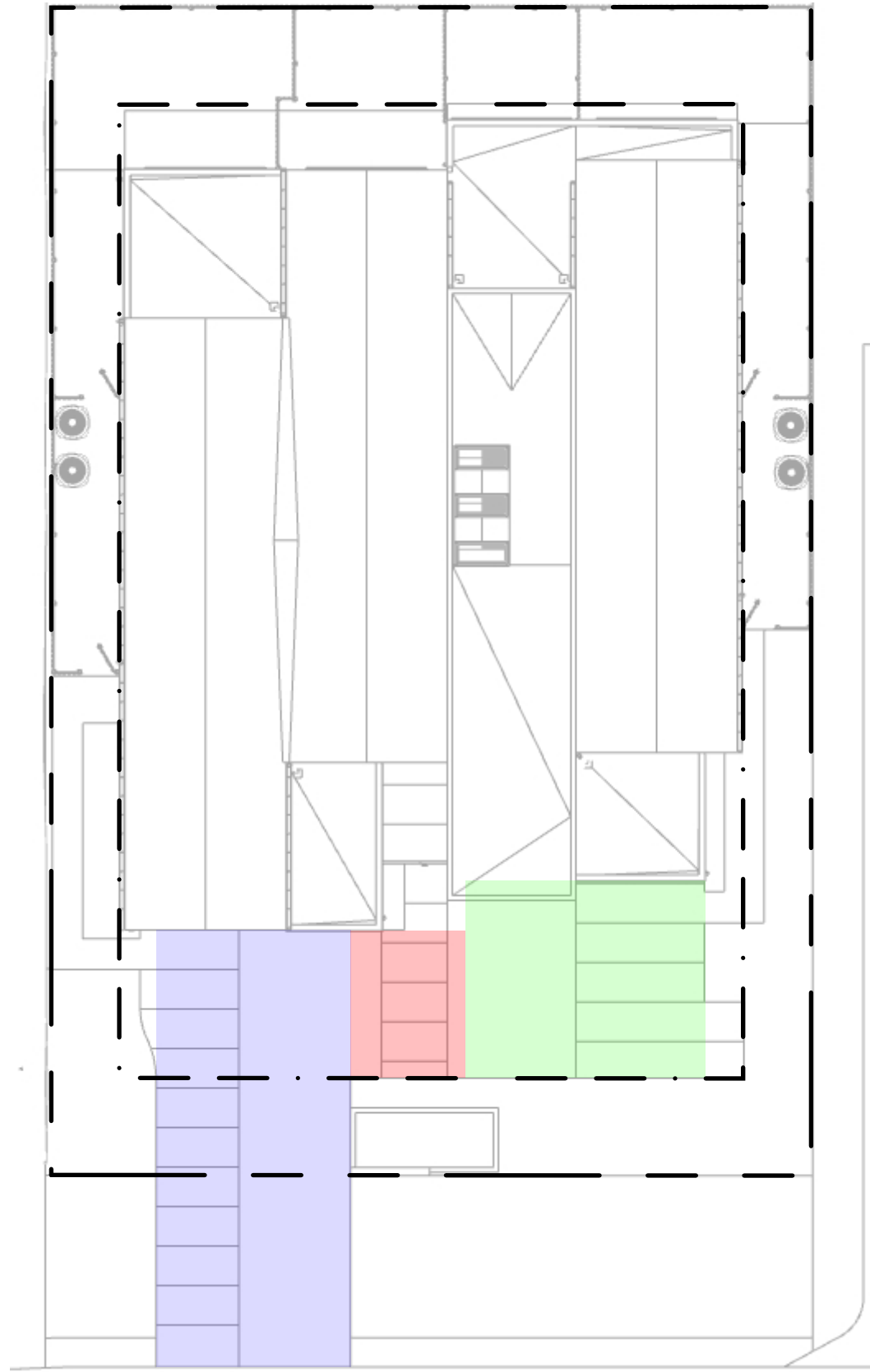
SUN PATH

A0.3





DRIVE AISLES



- 6.0m WIDE DRIVEWAY
- 4.5m WIDE DRIVE AISLE (NO ACCESS TO ADJACENT PARKING)
- 6.0m WIDE DRIVE AISLE (W/ ADJACENT PARKING)



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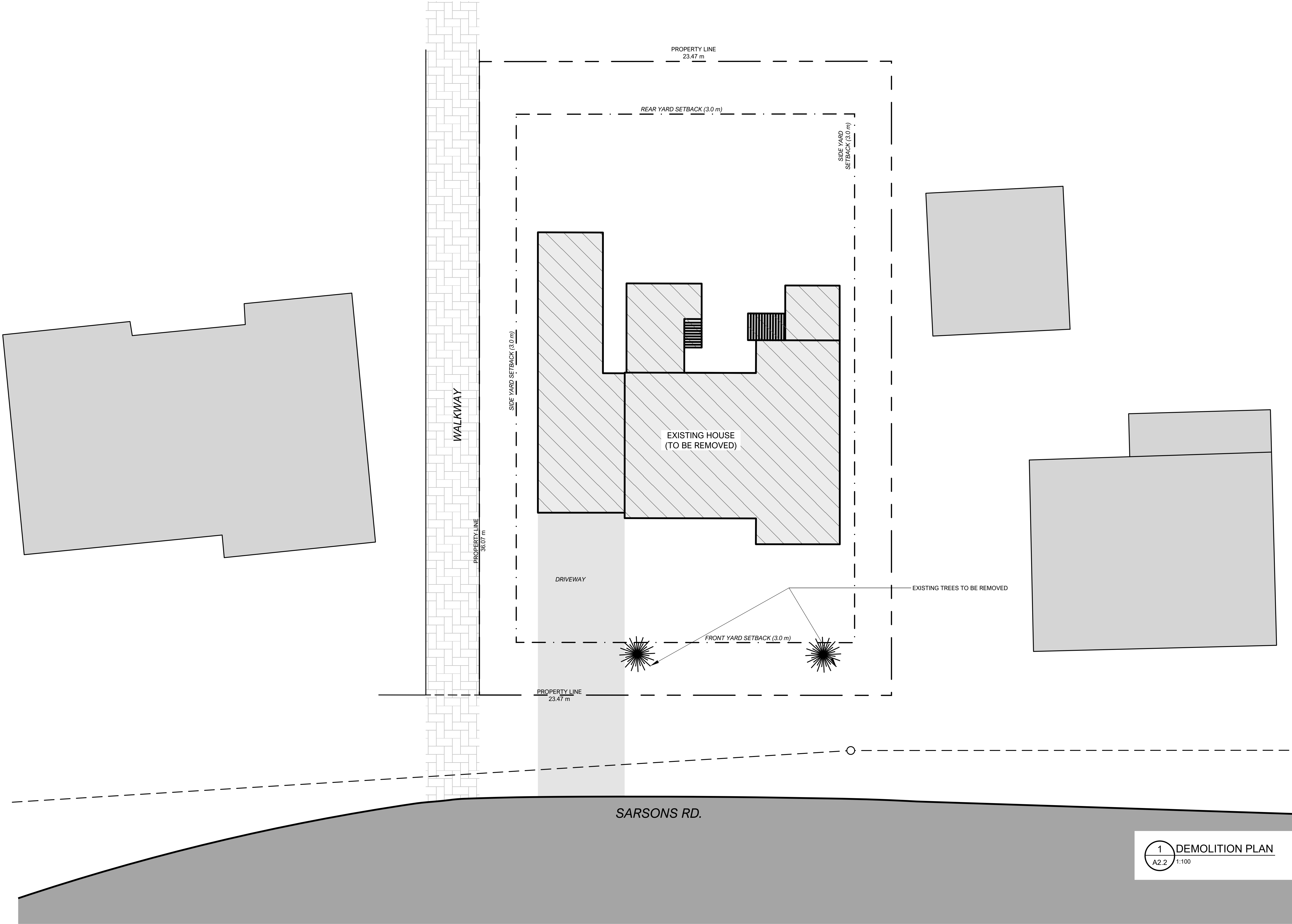
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SITE PLAN

A2.1

PROJECT NORTH

1 SITE PLAN
A2.1 1:100



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DEMOLITION
PLAN

A2.2



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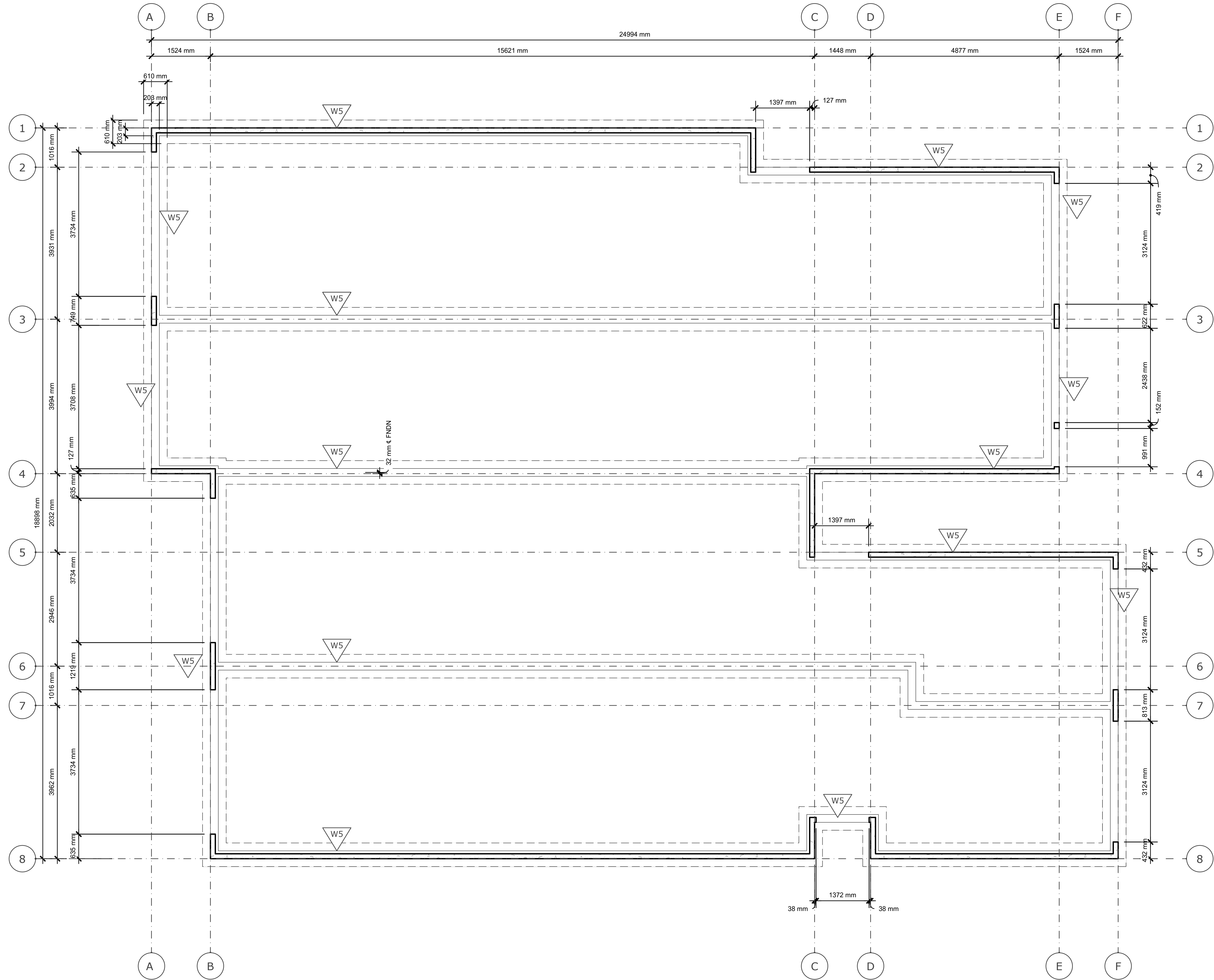
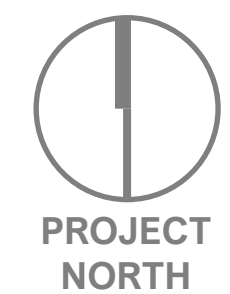
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FOUNDATION PLAN

A2.3



1 FOUNDATION PLAN
A2.3 1:50

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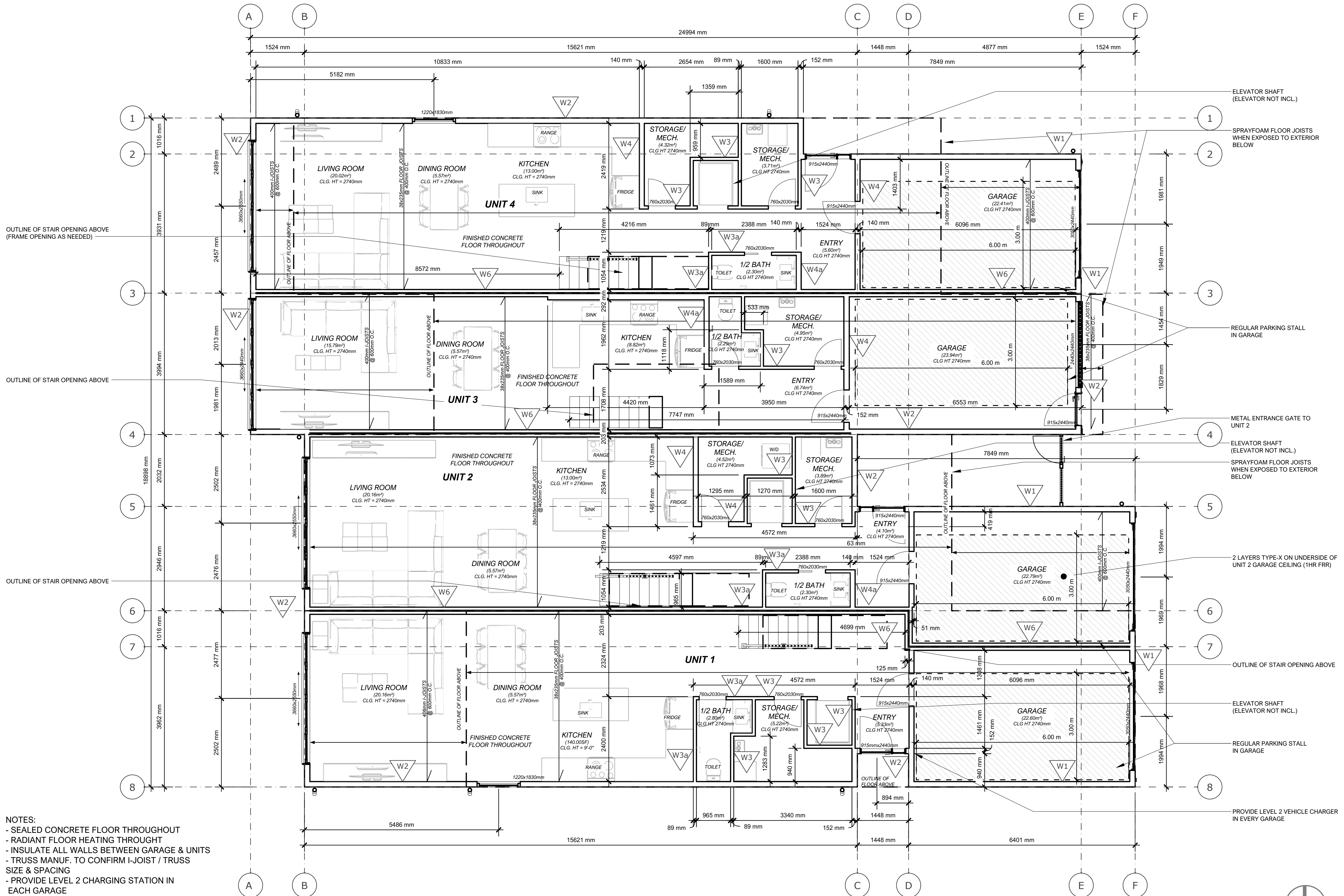
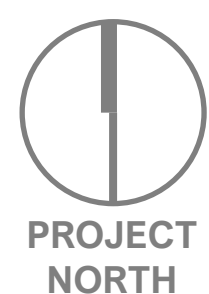
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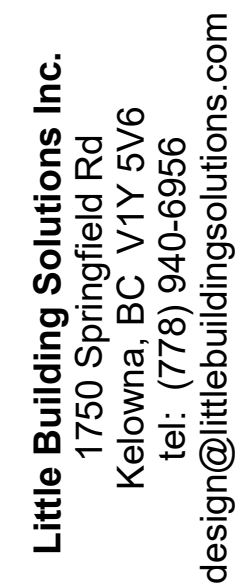
MAIN FLOOR PLAN

A2.4



NOTES:
- SEALED CONCRETE FLOOR THROUGHOUT
- RADIANT FLOOR HEATING THROUGHOUT
- INSULATE ALL WALLS BETWEEN GARAGE & UNITS
- TRUSS MANUF. TO CONFIRM I-JOIST / TRUSS SIZE & SPACING
- PROVIDE LEVEL 2 CHARGING STATION IN EACH GARAGE

1 MAIN FLOOR PLAN
A2.4 1:50



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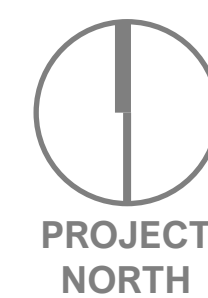
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SECOND FLOOR PLAN

A2.5



NOTES:
- HARDWOOD FLOOR THROUGHOUT (EXCEPT
IN BATHROOMS)
- TILE FLOOR IN ALL BATHROOMS

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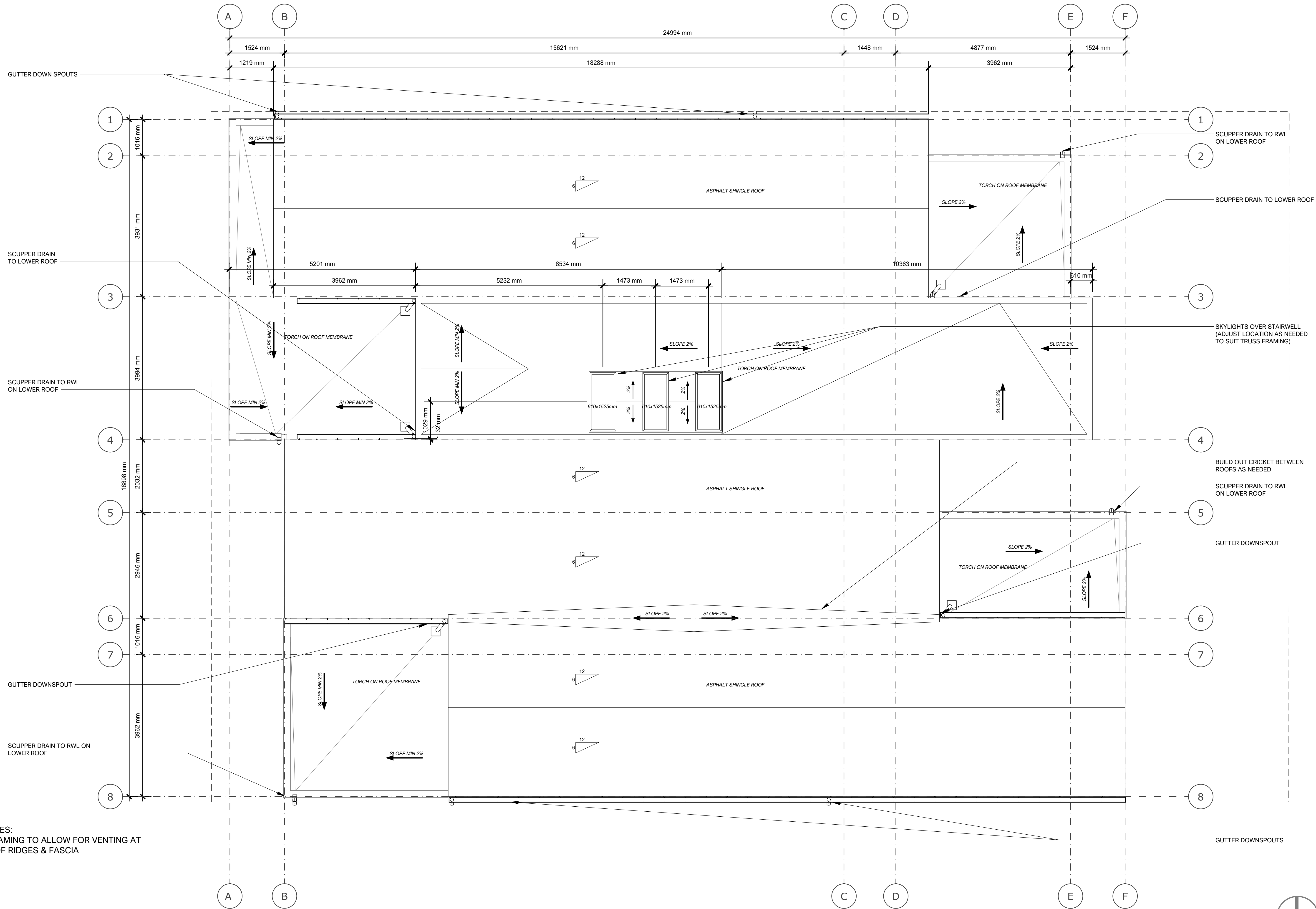
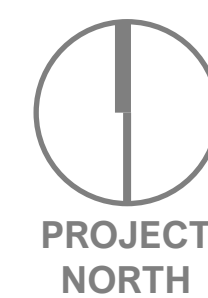
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ROOF PLAN

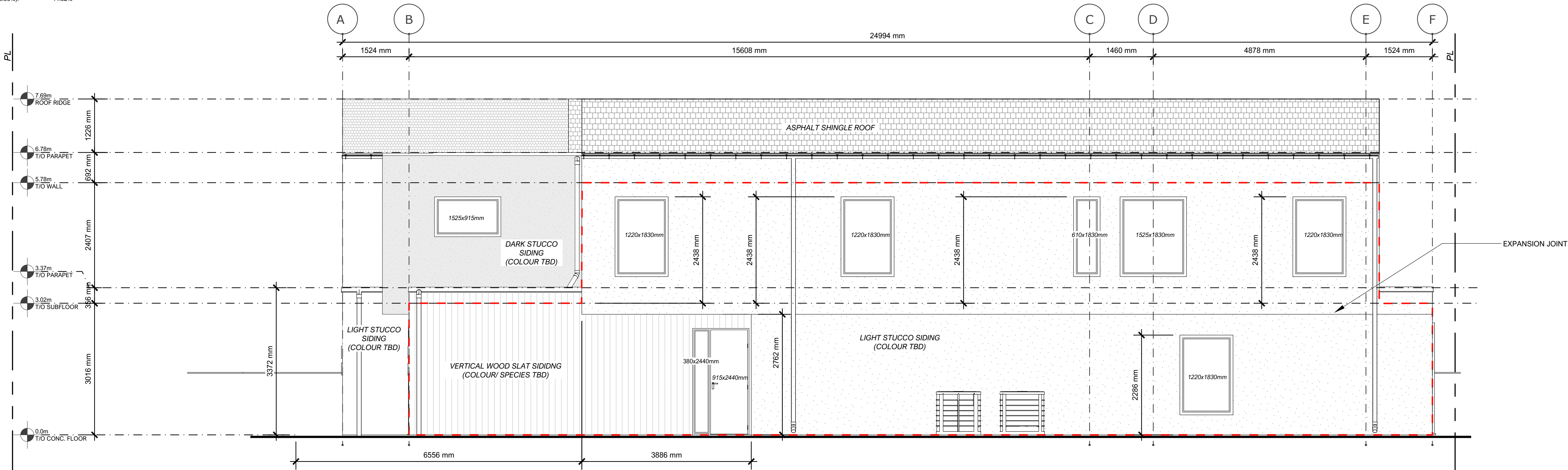
A2.6



NOTES:
- FRAMING TO ALLOW FOR VENTING AT
ROOF RIDGES & FASCIA

1 ROOF PLAN
A2.6 1:50

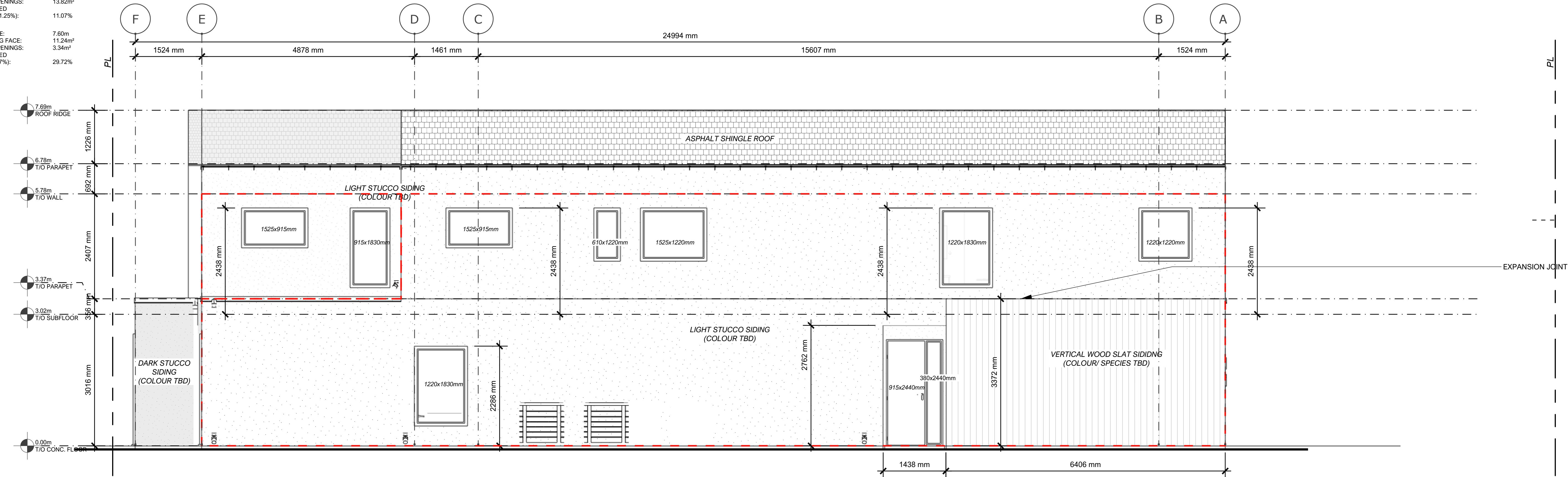
LIMITING DISTANCE: 5.3m
EXPOSED BUILDING FACE: 120.00m²
UNPROTECTED OPENINGS: 13.82m²
% OF UNPROTECTED OPENINGS (MAX 16.55%): 11.52%



1 NORTH ELEVATION
A2.7 1:50

UNIT 1 FACE
LIMITING DISTANCE: 3.63m
EXPOSED BUILDING FACE: 124.85m²
UNPROTECTED OPENINGS: 13.82m²
% OF UNPROTECTED OPENINGS (MAX 11.25%): 11.07%

UNIT 2 FACE
LIMITING DISTANCE: 7.60m
EXPOSED BUILDING FACE: 11.24m²
UNPROTECTED OPENINGS: 3.34m²
% OF UNPROTECTED OPENINGS (MAX 97%): 29.72%



1 SOUTH ELEVATION
A2.7 1:50



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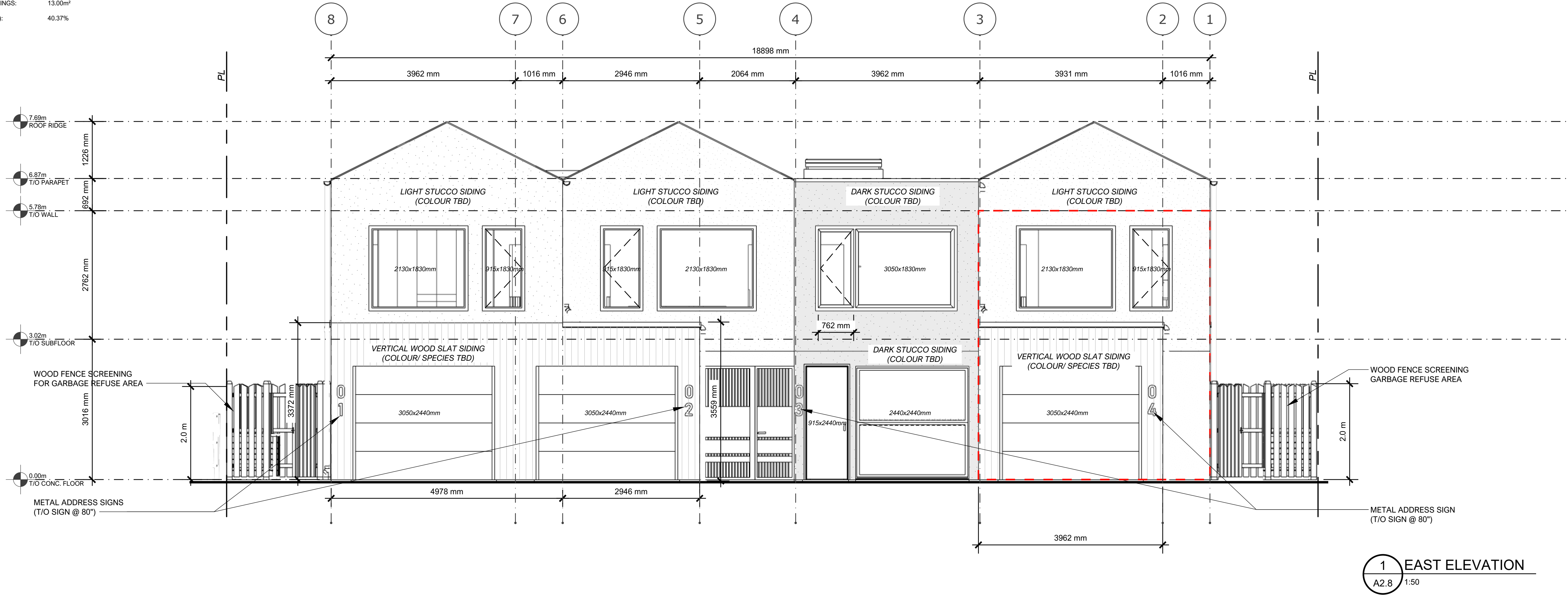
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N/S
ELEVATIONS

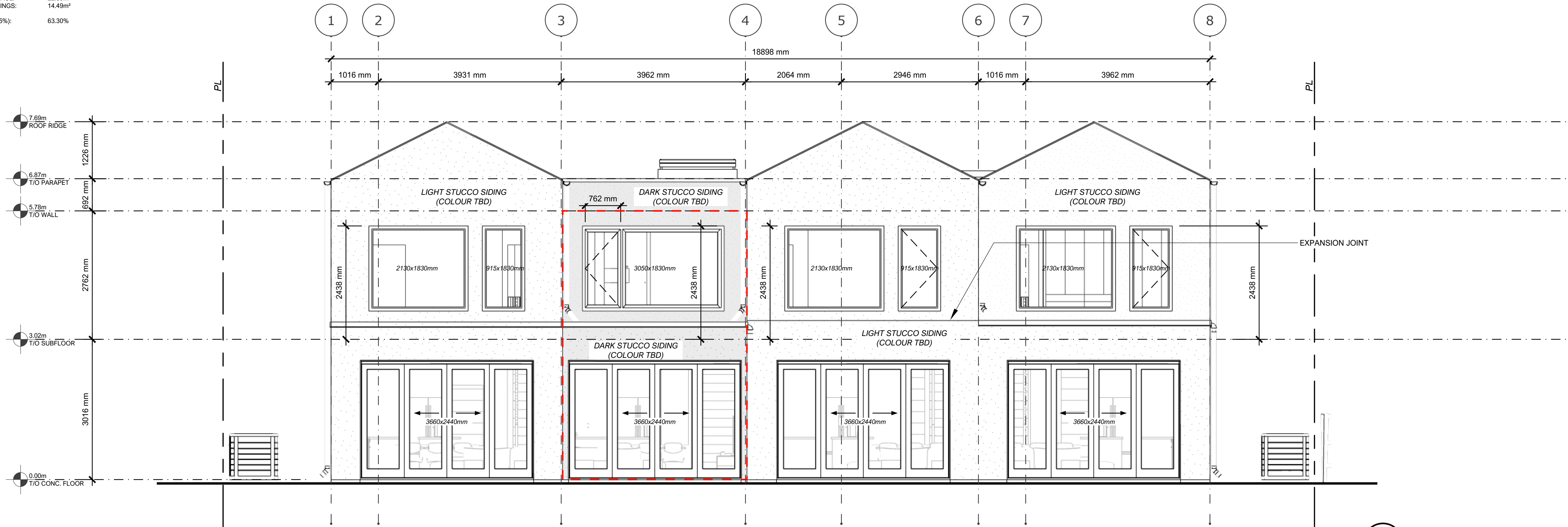
A3.1

MOST RESTRICTIVE UNIT (UNIT 4)
LIMITING DISTANCE: 6m
EXPOSED BUILDING FACE: 32.20m²
UNPROTECTED OPENINGS: 13.00m²
% OF UNPROTECTED OPENINGS (MAX 82%): 40.37%



1 EAST ELEVATION
A2.8 1:50

MOST RESTRICTIVE UNIT (UNIT 3)
LIMITING DISTANCE: 5.3m
EXPOSED BUILDING FACE: 22.89m²
UNPROTECTED OPENINGS: 14.49m²
% OF UNPROTECTED OPENINGS (MAX 70.85%): 63.30%



1 WEST ELEVATION
A2.8 1:50



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Sarsons Fourplex

Street: Sarsons Rd,
City, Prov: Kelowna, BC

Chris & Jennifer Little
Project Type: Residential Renovation
Project # :

Document Date:
March 10, 2025

Document Phase:
Design Development

rev.	date	remark
1	05/29/24	Design Coverage Plan
2	02/05/25	Issue For Review
3	02/07/25	Pre-Application Package
4	02/25/25	Clarify Soft Landscape %
5	03/10/25	Development Permit Plan

E/W
ELEVATIONS

A3.2

SCREENED REFUSE
STORAGE AREA

WALKWAY

SIDE YARD SETBACK (2.1 m)

PROPOSED DEVELOPMENT
(TOWNHOUSE 4 UNITS)

SCREENED REFUSE
STORAGE AREA

GRAVEL AREA

WOODEN FENCE

EXPOSED AGGREGATE CONCRETE

TROWEL CONCRETE

ROCK MULCH IN CONCRETE PLANTER

MEADOW SAGE

ROCKS IN LANDSCAPE AREA

AMUR CORK TREE

JAPANESE STEWARTIA

SUGAR MAPLE

FEATHER REED GRASS

DRIVEWAY

SARSONS RD.

LANDSCAPE STANDARDS (7.2)

Min. Tree Amount
Min. Soft Landscape Area
Min. Soil Volume Per Tree

REQ'D

5
75%
Large 20m³
Medium 18m³
Small 15m³

PROPOSED

5
92%
Large 20m³
Medium 18m³
Small 15m³

Min. Deciduous Tree Caliper

Large 5cm
Medium 4cm
Small 3cm

Large 5cm
Medium 4cm
Small 3cm

Min. Ratio Between Tree Size

Large Min 50%
Medium No min/max
Small Max 25%

Large 60%
Medium 20%
Small 20%

Landscape Graded Areas: Min. 1:50 slope (2%) for cross slope of landscape area
Fence Height
Refuse & Recycling Screened

Max 2.0m
(y/n)

2.0m
Yes

PLANT LIST

QTY

LATIN NAME

COMMON NAME

SIZE

TREES

1 Stewartia pseudocamillia
1 Phellodendron amurense
3 Acer saccharum

Japanese stewartia
Amur cork tree
Sugar Maple

Min Cal 3cm
Min Cal 4cm
Min Cal 5cm

PERENIALS

25 Calamagrostis 'Karl Forester'
5 Salvia nemorosa

Feather Reed Grass
Meadow Sage

#1
#1

NOTES:

1. Concrete planter to be dressed with grey rock mulch
2. Site to be watered with fully automated irrigation system
3. All structures to have positive drainage
4. All materials and methods to conform to Canadian Landscape Standards
5. Plant material to be locally sourced where possible



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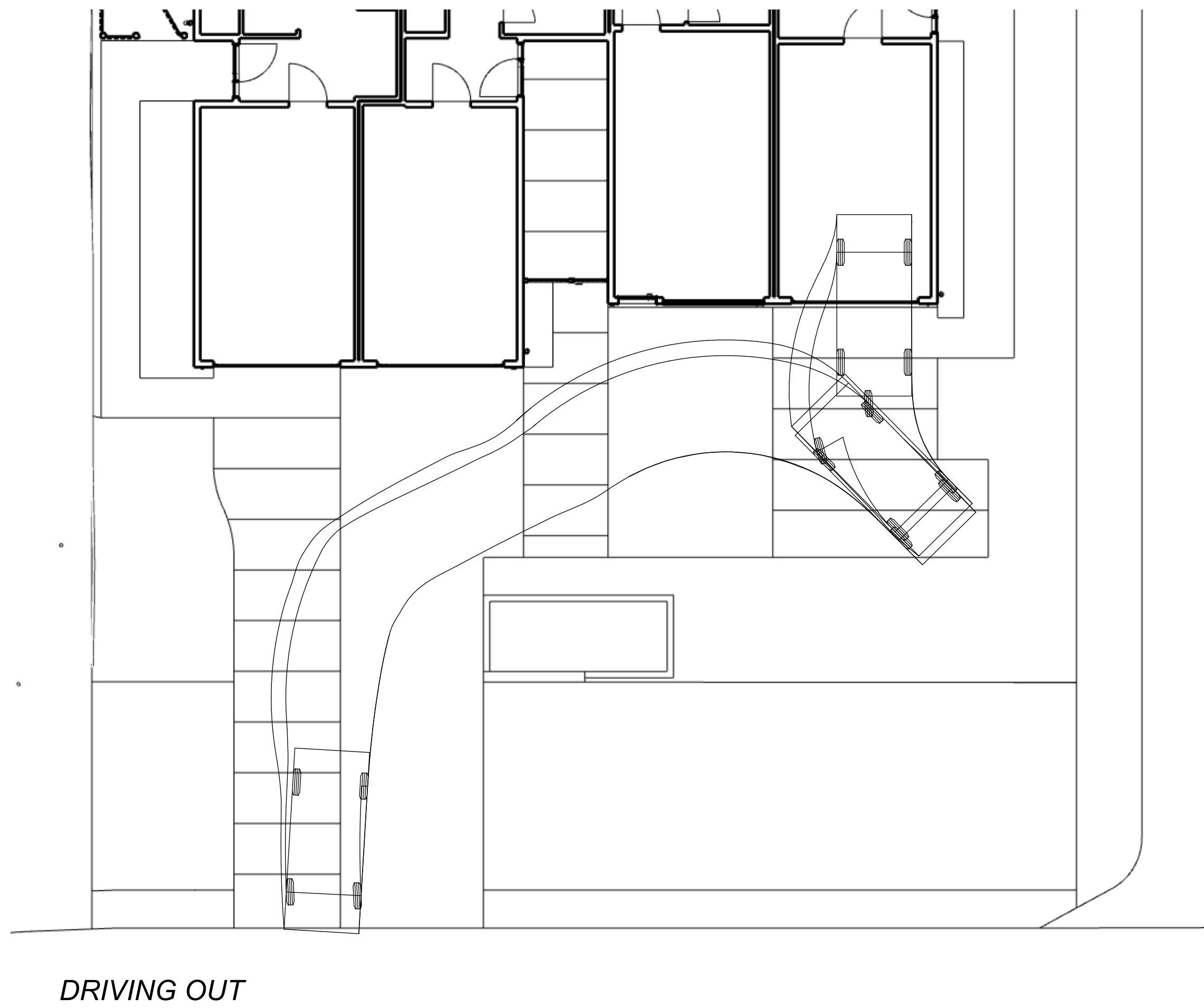
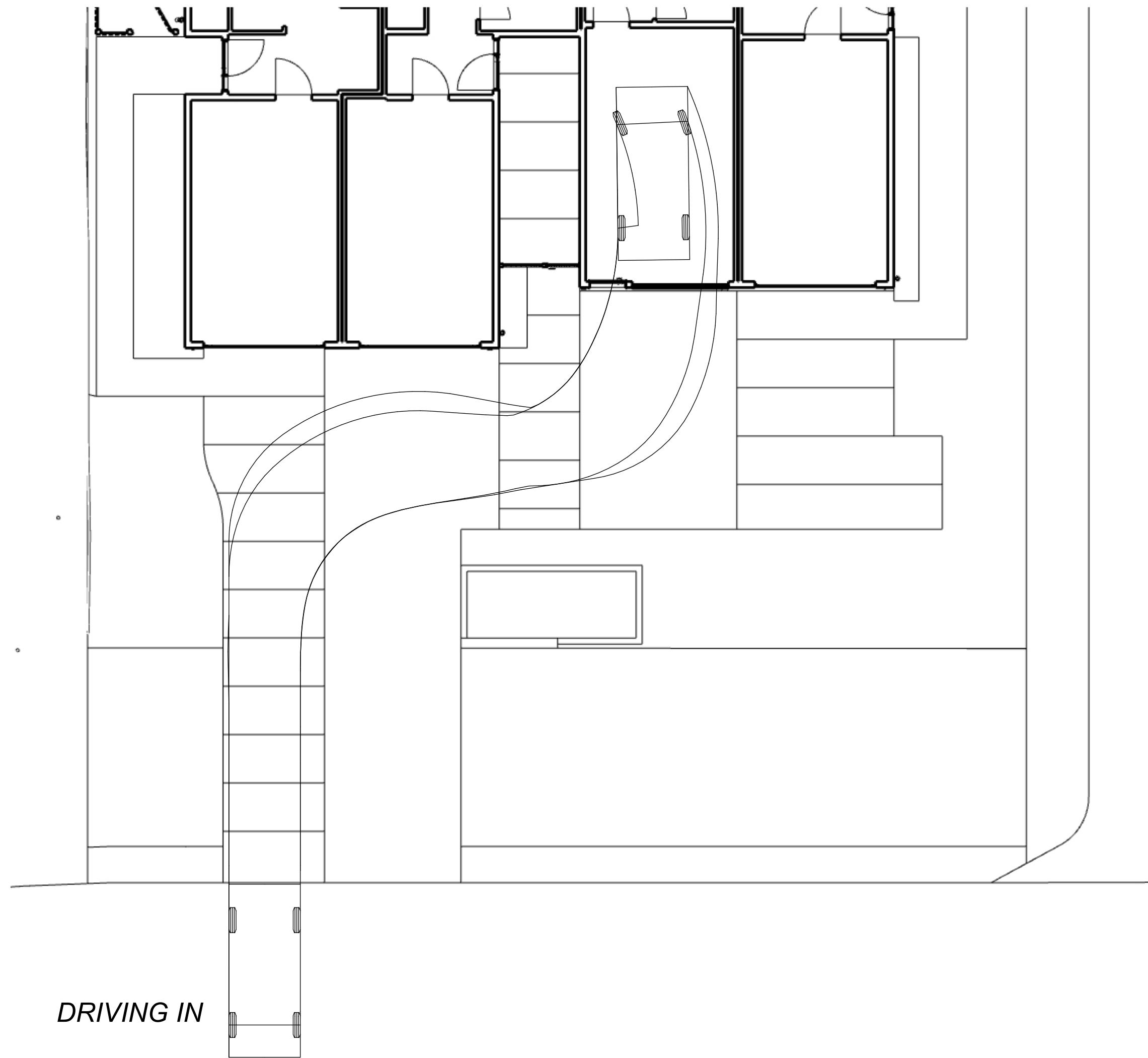
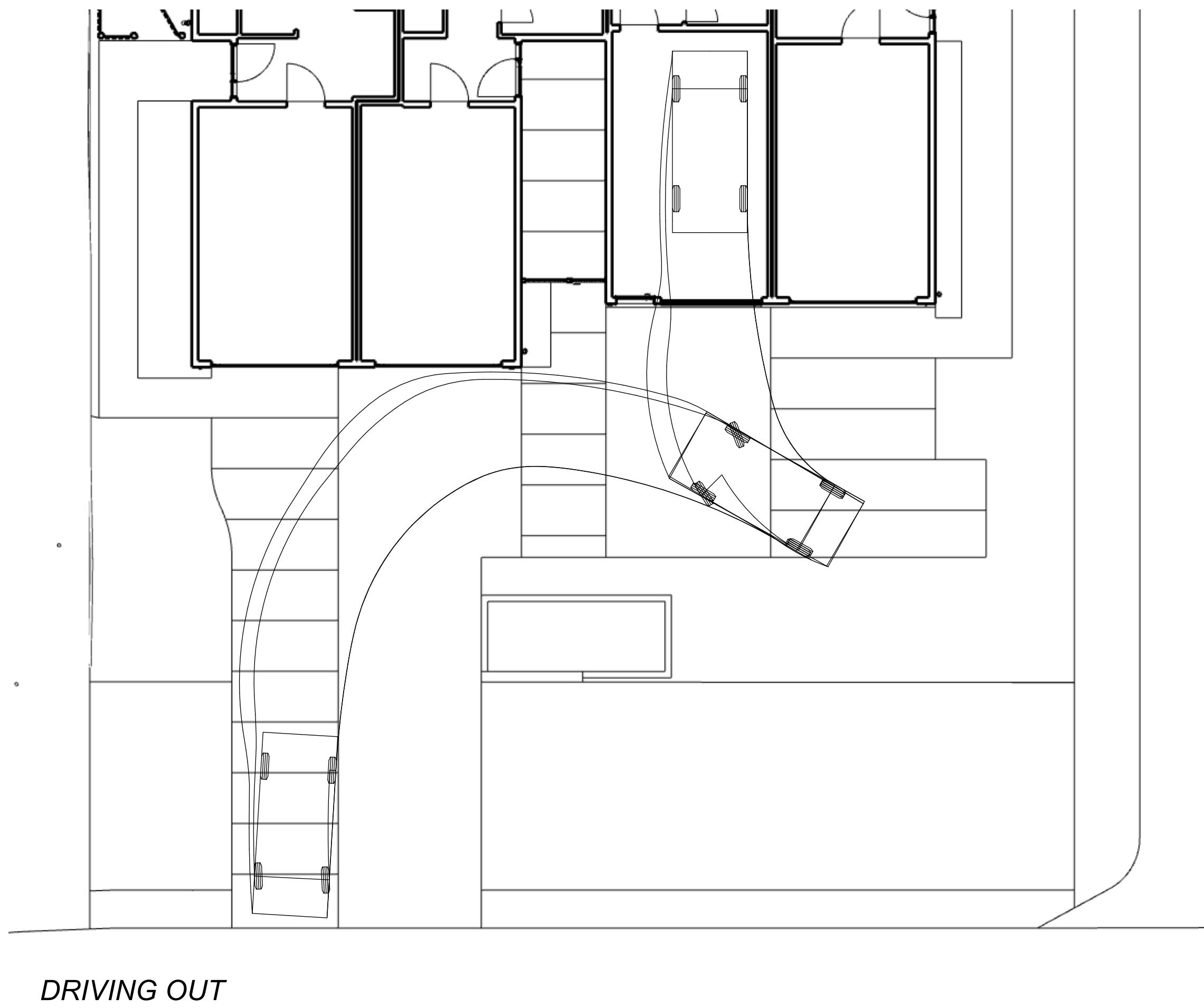
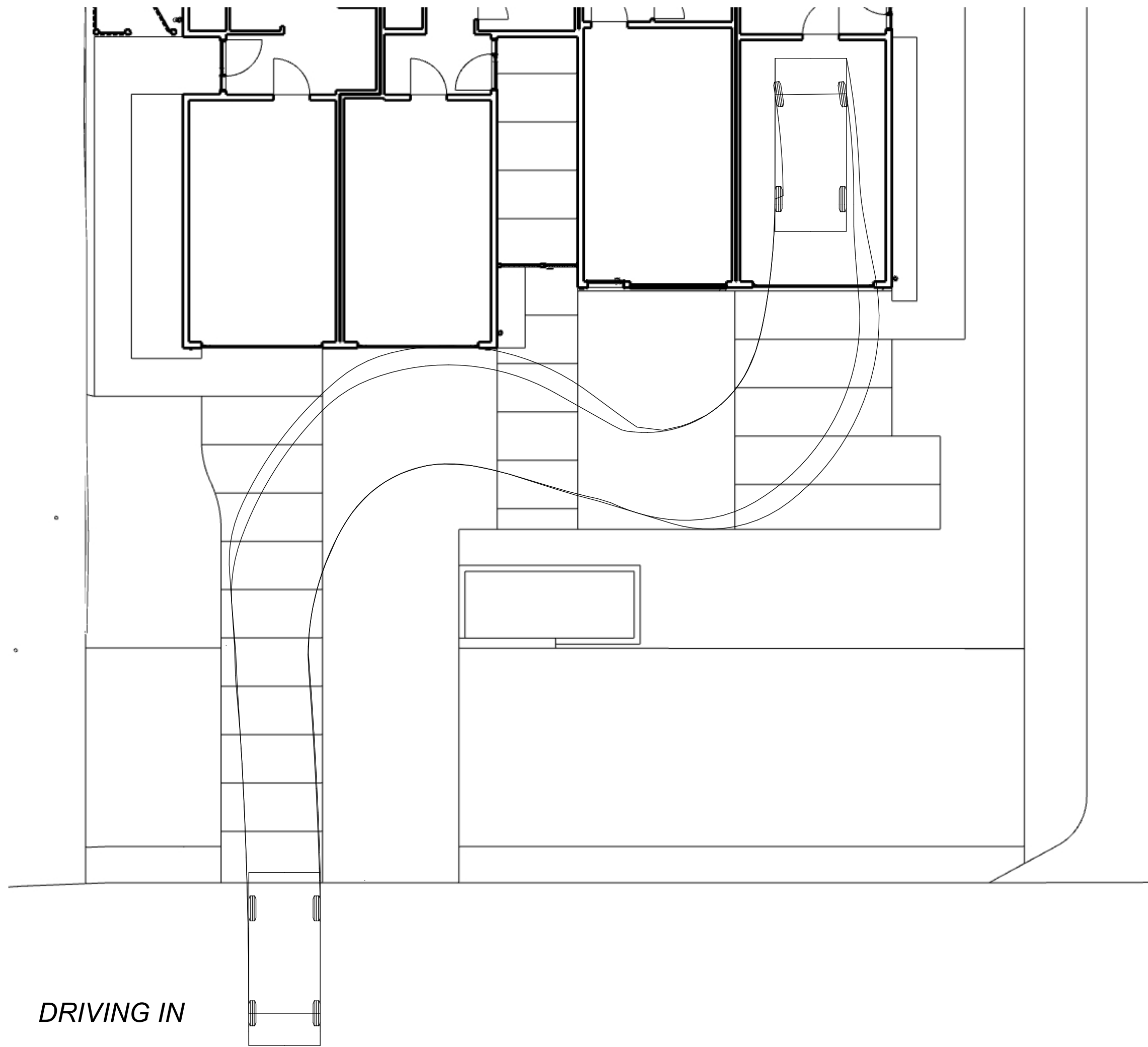
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LANDSCAPE
PLAN

L0.1



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CIRCULATION
PLAN

L0.2